

CHAPTER 4.10

PEDESTRIAN ORIENTED DESIGN STANDARDS

Section 4.10.10 - PURPOSE

The pedestrian oriented design standards in this chapter are established to do the following:

- a.** Implement applicable policies of the Comprehensive Plan;
- b.** Foster human-scale development that emphasizes pedestrian rather than vehicular features;
- c.** Promote pedestrian oriented buildings, pedestrian amenities, and landscaping that contribute positively to an appealing streetscape;
- d.** Promote an environment where developed areas, recreational areas, and multi-use paths are accessible to all;
- e.** Promote pedestrian safety by increasing the visibility and vitality of pedestrian areas;
- f.** Ensure direct and convenient access and connections for pedestrians and bicyclists;
- g.** Augment the sidewalk and multi-use path system for pedestrians;
- h.** Provide a connected network of sidewalks and multi-use paths;
- i.** Encourage street activity to support livable neighborhoods and vital commercial areas;
- j.** Ensure that developments contribute to the logical continuation of the City's street and block form, and/or establish block patterns in parts of the City where they do not exist;
- k.** Provide a sense of diversity and architectural variety, especially in residential areas, through the use of varied site design layouts and building types and varied densities, sizes, styles, and materials;
- l.** Encourage development and building designs that promote crime prevention and personal and community safety; and

- m. Encourage development and building designs that maintain some level of privacy for individual dwelling units.

Section 4.10.20 - APPLICABILITY

The pedestrian oriented design standards shall apply to those chapters in the Code that reference compliance with this chapter.

Section 4.10.30 - OPTIONS FOR REVIEW

Three options are available for review of a development's compliance with the pedestrian oriented design standards. These options include:

- a. **Clear and Objective Review** - Applications shall demonstrate compliance with the standards in this chapter. Compliance allows applications to proceed with ministerial review when they consist of outright permitted uses or when they have already obtained the necessary discretionary review approvals.
- b. **Lot Development Option** - Adjustments to the standards may be requested through the Lot Development Option procedures outlined in Chapter 2.12 - Lot Development Option.
- c. **Discretionary Reviews Involving Public Hearings** - Flexibility beyond the allowances described in "b" above may be requested as a Planned Development review. However, to achieve this flexibility, the provisions within Chapter 2.5 - Planned Development apply.

Section 4.10.40 - APPLICATION OF STANDARDS

- a. **Residential Uses** - For all residential uses, the applicable residential standards shall apply.
- b. **Commercial, Industrial, and Civic Uses** - For all commercial, industrial, and civic uses, the applicable commercial, industrial, and civic standards shall apply.
- c. **Mixed Use Buildings** - For mixed use buildings, the applicable provisions for each use component shall apply to that portion of the building. For example, if a mixed use building has ground-floor retail and residential above, the standards for commercial, industrial, and civic uses shall apply to the commercial portion, and the residential standards shall apply to the remainder of the building. If a conflict exists between standards, the standard that provides more pedestrian amenities applies.

- d. **Orientation to Streets** - Where a lot or parcel fronts on three or more streets, the requirements of this chapter (e.g., building orientation, location of parking) apply to only two of these streets.

Section 4.10.50 - STANDARDS FOR DETACHED SINGLE-FAMILY, 2-UNIT ATTACHED SINGLE-FAMILY, AND DUPLEX RESIDENTIAL BUILDING TYPES

4.10.50.01 - Building Orientation, Privacy, and Facades Adjacent to Pedestrian Areas

- a. **Orientation of Dwellings** - All dwellings shall be oriented to existing or proposed public or private streets (see Chapter 4.0 - Improvements Required with Development for public and private street standards), with the exception that accessory dwelling units constructed in accordance with Chapter 4.9 - Additional Provisions may be accessed from an alley. Private streets used to meet this standard must include the elements in Chapter 4.0.

The orientation standard is satisfied when the following provisions are met:

1. Primary building entrances shall face the streets or be directly accessed by a sidewalk or multi-use path less than 100 ft. long; and
 2. Primary dwelling unit entrances shall open directly to the outside and shall not require passage through a garage or carport to gain access to the dwelling.
- b. **Privacy** - If the side wall of a dwelling or accessory dwelling is on or within 3 ft. of the property line, ground-floor windows or other openings that allow for visibility into the side yard of the adjacent lot shall not be allowed. Windows that do not allow visibility into the side yard of the adjacent lot, such as a clerestory window or a translucent window, are allowed.
 - c. **Windows and Doors** - Any facade facing streets, sidewalks, and multi-use paths (including garage facades) shall contain a minimum area of 15 percent windows and/or doors. Gabled areas need not be included in the base wall calculation when determining this minimum 15 percent requirement.
 - d. **Grading (Cuts and Fills)** - Structures and onsite improvements shall be designed to fit the natural contours of the site by minimizing cuts and fills. Cuts and fills shall be considered to be minimized by not exceeding 8 vertical ft. for an individual cut or fill and not exceeding 16 vertical ft. for a combination cut/fill. The maximum cut or fill used to establish any driveway

shall not exceed 8 vertical ft., except that overall vertical heights of these cuts or fills may exceed 8 ft. where slopes on a site exceed 20 percent. In these cases, an overall maximum vertical height of 14 ft. may be achieved by use of more than one cut or fill, provided that a minimum 5-ft. planted bench is constructed between the two cuts or fills (excepting that improvements such as sidewalks, stairs, patios, etc. that cross the bench are not planted).

4.10.50.02 - Ratio of Garage/Carport Facade to Street, Placement, and Materials

a. Ratio of Garage/Carport Facade to Street for Dwellings with Front-Loaded Garages/Carports

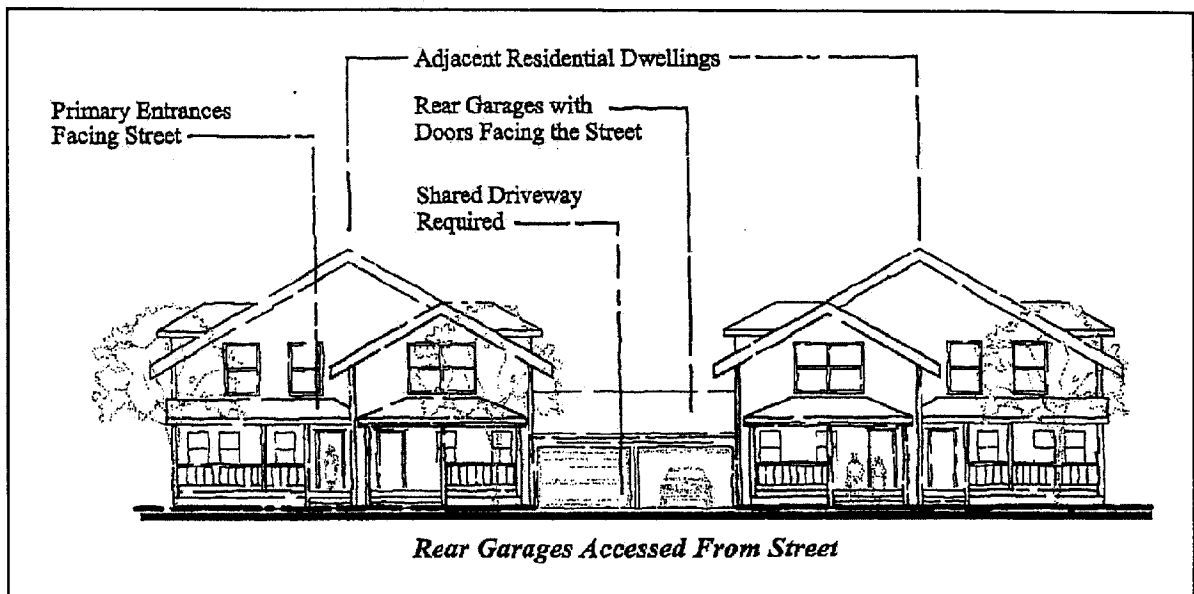
1. **Lots \geq 50 Ft. in Width** - For dwellings with front-loaded garages/carports (attached garages/carports with entrances facing the same street as the dwelling's entrance), the width of the garage wall (not just the doors) or carport facing the street shall be no more than 50 percent of the length of the dwelling's street-facing facade.
2. **Lots $<$ 50 Ft. in Width** - For dwellings with front-loaded garages (attached garages with entrances facing the same street as the dwelling's entrance), the area of the garage wall or facing the street shall be no more than 50 percent of the area of the dwelling's street-facing facade. The area shall be measured in sq. ft. and, with the exception of gabled areas and second stories, the entire facade of the garage shall be measured (i.e., the interior of the garage would determine the width of the garage facade, not just the garage doors). For dwellings with front-loaded carports, the carports shall be subject to the same restrictions outlined in "1" above.
3. **Exception** - Where the street-facing facade of a dwelling is less than 24 ft. wide, the garage wall facing the street may be up to 12 ft. wide if the garage meets one of the following:
 - (a) **Interior Living Area above the Garage** - The living area may not be set back more than 4 ft. from the street-facing garage wall;
or
 - (b) **Covered Balcony** - A covered balcony above the garage is:
 - (1) At least the same width as the street-facing garage wall;

- (2) At least 6 ft. deep; and
- (3) Accessible from the interior living area of the dwelling unit.

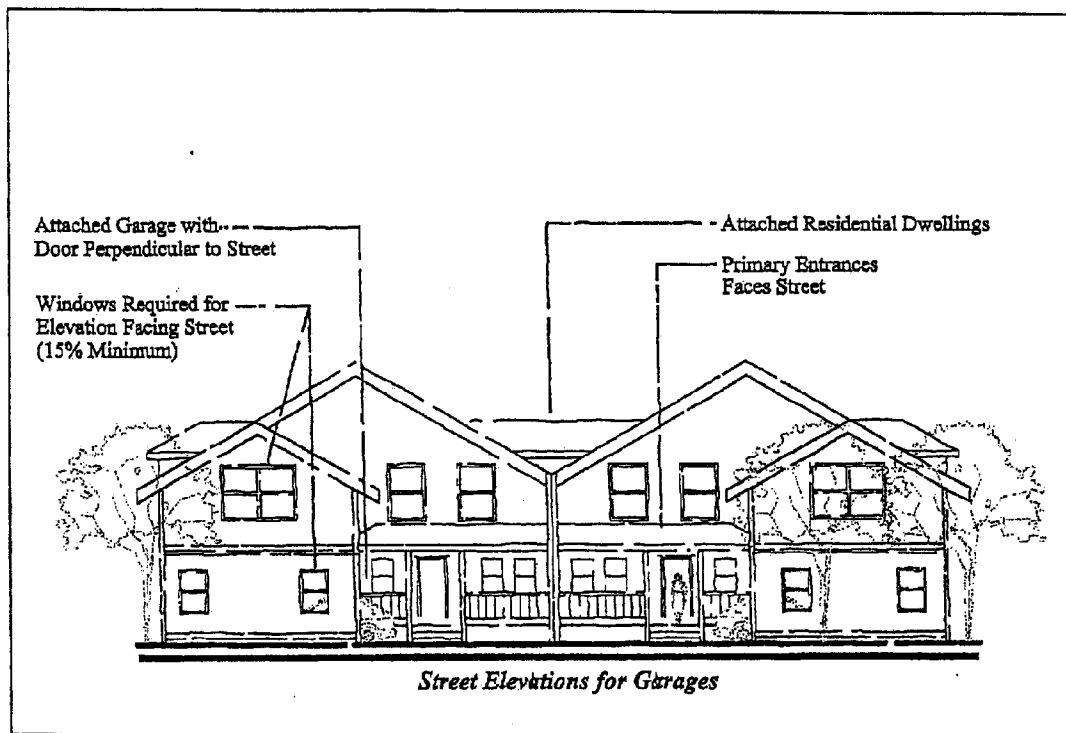
b. Garage and Carport Placement - Garages and carports shall be placed only as indicated in the options below. The applicant shall indicate the proposed options on plans submitted for building permits. Additionally, measurements may be taken from the second floor of homes, provided the second floor spans across the entire garage/carport.

Garage/Carport Placement Options:

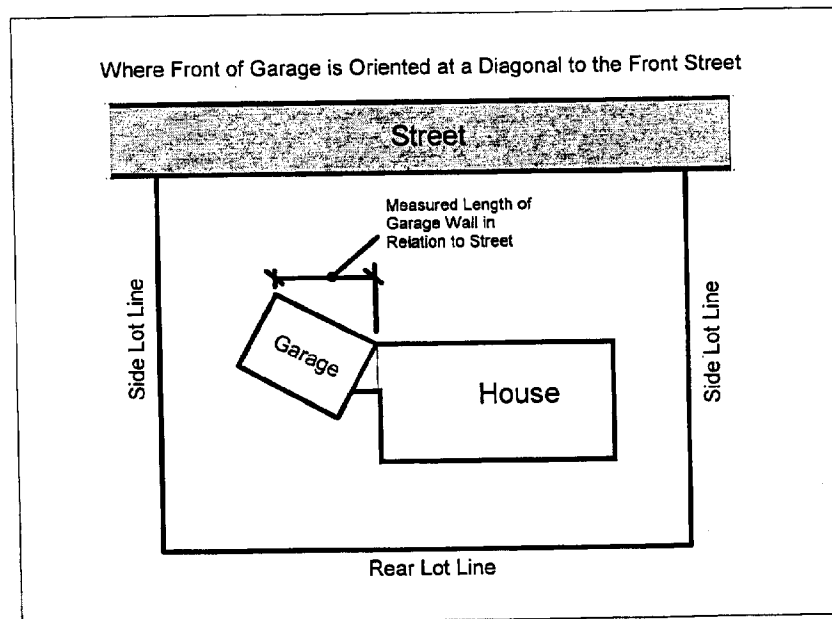
1. Vehicular entrances are at the rear of a dwelling unit (attached to or detached from the dwelling unit) and accessed from the street. Where two adjacent dwelling units use this option, a shared driveway shall be encouraged.



2. Vehicular entrances face the street and are recessed at least 4 ft. from the front wall of the dwelling. The recess from the front wall of the dwelling shall be measured from the front wall of the living space area, not from the front porch, a bay window, or other projection or architectural feature.
3. Vehicular entrances are accessed from an alley. Garage/carport setbacks from alleys are outlined in section 4.0.60.j of Chapter 4.0 - Improvements Required with Development. Garage/carport entrances may be located parallel to (facing) an alley, perpendicular to (not facing) an alley, or angled up to 45 degrees to an alley.
4. Vehicular entrances are perpendicular to the street (garage/carport is sideways). The garage wall facing the street shall provide a minimum area of 15 percent windows and/or doors.



5. Vehicular entrances are oriented diagonally to the street. The garage wall facing the street shall provide a minimum area of 15 percent windows and/or doors. To determine whether the portion of the garage that "faces" the street complies with section 4.10.50.2.a, the width of the front garage wall shall be measured as the length of the leg of a right triangle parallel to the street, where the hypotenuse of the triangle is the front of the garage.



6. Vehicular entrances face the street and garages are located beneath the main floor and front door entrance to the dwelling unit, provided the garage/carport entrances are flush with or set behind the front wall of the dwelling unit. This option addresses the "basement garage" scenario in hillside areas.
7. Vehicular entrances face the street and are flush with or recessed up to 4 ft. from the front wall of the dwelling, and a front porch is provided with a minimum size of 6 ft. deep by 10 ft. wide (60 sq. ft.). A minimum of 60 percent of the porch shall be covered to provide weather protection.
8. Vehicular entrances face the street and are flush with or recessed up to 4 ft. from the front wall of the dwelling, and the garage/carport is a single-car garage/carport that is a maximum of 12 ft. wide.

9. Vehicular entrances face the street and are recessed at least 2 ft. from the front wall of the dwelling, and the dwelling includes a second floor that cantilevers over the garage/carport at least 2 ft. The recess from the front wall of the dwelling shall be measured from the front wall of the living space area, not from the front porch, a bay window, or other projection or architectural feature. Additionally, the second floor that cantilevers over the garage/carport shall run the full length of the garage/carport.

- c. **Garage and Carport Materials** - Garages and carports, when provided, shall be constructed of the same building materials as the dwelling.

4.10.50.03 - Menus for Pedestrian Features and Design Variety

- a. **Pedestrian Features Menu** - Each home shall incorporate a minimum of one of the following three pedestrian features. The applicant shall indicate the proposed options on plans submitted for building permits. While not all of the pedestrian features are required, the inclusion of as many as possible is strongly encouraged.

1. **Elevated Finished Floor** - An elevated finished floor a minimum of 2 ft. above the grade of the nearest street sidewalk or streetside multi-use path.
2. **Front Porches/Patios** - A front porch or front patio a minimum size of 6 ft. deep by 10 ft. wide (60 sq. ft.), and covered by a minimum of 60 percent to provide weather protection.
3. **Sidewalk/Walkway to Front Door** - A minimum 3-ft.-wide walkway constructed of a permanent hard surface (not gravel) and located directly between the street sidewalk and the front door. This walkway shall not be part of the driveway area.

- b. **Design Variety Menu** - Each home shall incorporate a minimum of three of the following eight building design features. The applicant shall indicate proposed options on plans submitted for building permits. While not all of the design features are required, the inclusion of as many as possible is strongly encouraged.

1. **Roof Pitch** - A minimum 4 to 12 roof pitch.
2. **Increased Roof Pitch** - A minimum 6 to 12 roof pitch. Provision of this increased roof pitch does not allow an applicant to count both this

option and "1" above as options that have been met. An applicant shall receive "credit" only for "1" or this option.

3. **Eaves** - Eaves with a minimum 18-inch overhang.
4. **Building Materials** - At least two different types of building materials (including, but not limited to, stucco and wood, brick and stone, etc.) or a minimum of two different patterns of the same building material (e.g., scalloped wood and lap siding, etc.) on facades facing streets. These requirements are exclusive of foundations and roofs and pertain only to the walls of a structure.
5. **Trim** - A minimum of 2.25-inch trim or recess around windows and doors that face the street. Although not required, wider trim is strongly encouraged.
6. **Increased Windows** - A minimum area of 20 percent windows and/or dwelling doors on facades (including garage facades) facing streets, sidewalks, and multi-use paths. Gabled areas need not be included in the base wall calculation when determining this minimum 20 percent calculation.
7. **Architectural Features** - At least one architectural feature included on dwelling facades that face the street. Architectural features are defined as bay windows, covered porches greater than 60 sq. ft. in size, balconies above the 1st floor, dormers related to living space, or habitable cupolas. If a dwelling is oriented such that its front facade (facade with the front door) is oriented to a sidewalk and no facades of the dwelling face a street, then the architectural feature may be counted if it is located on the front facade.
8. **Architectural Details** - Architectural details used consistently on dwelling facades. Architectural details are defined as exposed rafter or beam ends, eave brackets, windows with grids or divided lights, or pergolas/trellis work integrated into building facades. If a dwelling is oriented such that its front facade (facade with the front door) is oriented to a sidewalk and no facades of the dwelling face a street, then the architectural feature may be counted if it is located on the front facade.

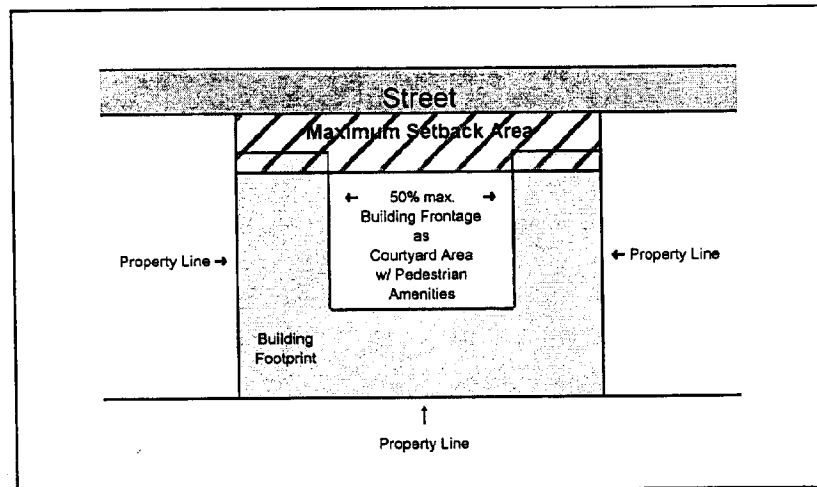
Section 4.10.60 - STANDARDS FOR ATTACHED SINGLE-FAMILY DWELLINGS 3 UNITS OR GREATER, TOWNHOME, TRIPLEX, FOURPLEX, AND APARTMENT RESIDENTIAL BUILDING TYPES

4.10.60.01 - Building Orientation, Entrances, and Facades Adjacent to Pedestrian Areas

All building orientations, facades, and entrances shall comply with the following standards.

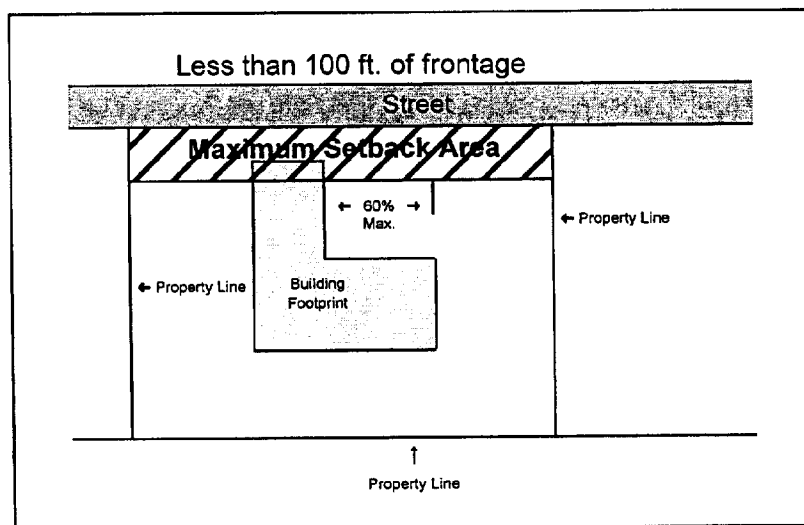
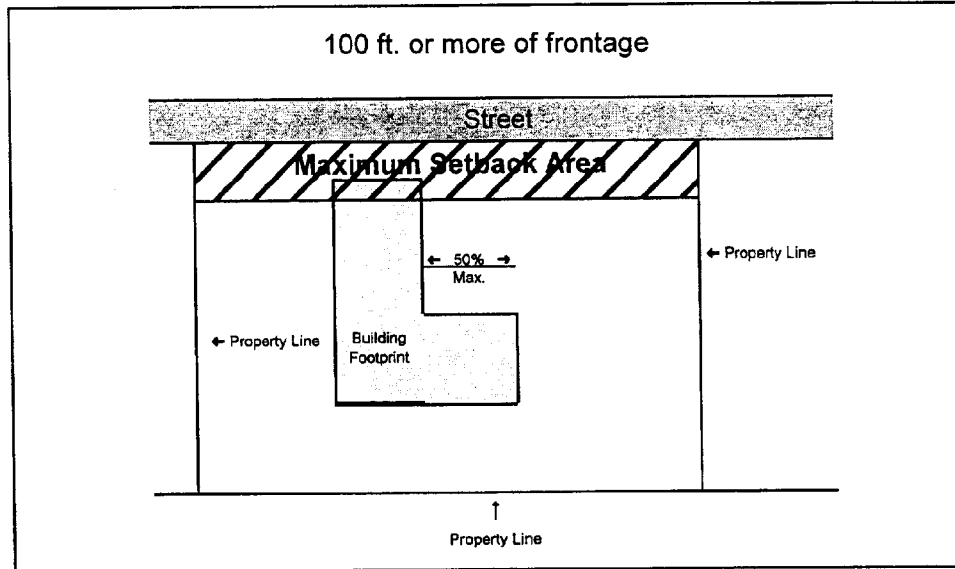
- a. Orientation of Buildings** - All dwellings shall be oriented to existing or proposed public or private streets (see Chapter 4.0 - Improvements Required with Development for public and private street standards), with the exception that accessory dwelling units constructed in accordance with Chapter 4.9 - Additional Provisions may be accessed from an alley. Private streets used to meet this standard must include the elements in Chapter 4.0.

 1. Primary building entrances shall face the streets or be directly accessed by a sidewalk or multi-use path less than 200 ft. long. Primary entrances may provide access to individual units, clusters of units, courtyard dwellings, or common lobbies. Entrances shall open directly to the outside and shall not require passage through a garage or carport to gain access to the doorway.
 2. Open courtyard space may increase up to 50 percent of the building front beyond the maximum setback. Open courtyard space is usable space that shall include pedestrian amenities such as benches, seating walls, or similar furnishings, and shall include landscaping. For example, an apartment building in a Mixed Use Residential Zone is required to have a front yard setback of no more than 15 ft. If a developer desires to construct a "U-shaped" building with a pedestrian courtyard in the center, then one half the width of the building (based upon the lineal footage of the building's street frontage) could be located farther back than the maximum setback of 15 ft.



3. Off-street parking and vehicular circulation shall not be placed between buildings and the streets to which those buildings are primarily oriented, except for driveway parking associated with single-family development. An exception may also be granted for up to two parking spaces per dwelling unit for triplexes, provided these spaces are within driveway areas designed to serve individual units within the triplexes. Parking to the side of buildings is allowed in limited situations, as outlined in section 4.10.60.02 below.

- b. **Percentage of Frontage** - On sites with 100 ft. or more of public or private street frontage, at least 50 percent of the site frontage width shall be occupied by buildings placed within the maximum setback established for the zone, except that variations from this provision shall be allowed as outlined in section 4.10.60.01.a.2 above. For sites with less than 100 ft. of public or private street frontage, at least 40 percent of the site frontage width shall be occupied by buildings placed within the maximum setback established for the zone, except that variations from this provision shall be allowed as outlined in section 4.10.60.01.a.2 above.



- c. **Windows and Doors** - Any facade facing streets, sidewalks, and multi-use paths (including garage facades) shall contain a minimum area of 15 percent windows and/or doors. Gabled areas need not be included in the base wall calculation when determining this minimum 15 percent requirement.
- d. **Grading (Cuts and Fills)** - Structures and onsite improvements shall be designed to fit the natural contours of the site by minimizing cuts and fills. Cuts and fills shall be considered to be minimized by not exceeding 8 vertical ft. for an individual cut or fill and not exceeding 16 vertical ft. for a combination cut/fill. The maximum cut or fill used to establish any driveway shall not exceed 8 vertical ft., except that overall vertical heights of these

cuts or fills may exceed 8 ft. where slopes on a site exceed 20 percent. In these cases, an overall maximum vertical height of 14 ft. may be achieved by use of more than one cut or fill, provided that a minimum 5-ft. planted bench is constructed between the two cuts or fills (excepting that improvements such as sidewalks, stairs, patios, etc. that cross the bench are not planted).

4.10.60.02 - Parking Location

a. Standards

1. Parking lots shall be placed to the rear of buildings. Ministerial exceptions to this standard allow parking to the side of a building if required parking cannot be accommodated to the rear. These ministerial exceptions may be granted in the following cases:
 - (a) Where lot depth is less than 75 ft.;
 - (b) Where parking on the side would preserve significant natural features that exist to the rear of a site, and that would be disturbed by the creation of parking to the rear of structures on a site;
 - (c) Where a common outdoor space at least 200 sq. ft. in size is proposed to the rear of a site, and parking in the rear would prohibit the provision of this common outdoor space area for residents of a development site; and/or
 - (d) Where parking on the side would solve proximity issues between dwelling unit entrances and parking spaces. A proximity issue in this case involves a situation where a parking lot to the rear is in excess of 100 ft. from the entrances to the dwelling units being served by the parking lot.
2. On corner lots, parking areas shall not be located within 30 ft. of a roadway intersection, as measured from the center of the curb radius to the edge of the parking area (curb or wheel stop).

4.10.60.03 - Ratio of Garage/Carport Facade to Street, Placement, and Materials

Provisions for the ratio of garage and carport facades to the street, placement, and materials shall be as outlined in section 4.10.50.02.

4.10.60.04 - Menus for Pedestrian Features and Design Variety

- a. Pedestrian Features Menu for Triplexes, Fourplexes, and Townhomes -** Each triplex, fourplex, or townhome shall incorporate a minimum of one of the following three pedestrian features. The applicant shall indicate proposed options on plans submitted for building permits. While not all of the pedestrian features are required, the inclusion of as many as possible is strongly encouraged.

1. **Elevated Finished Floor** - An elevated finished floor a minimum of 2 ft. above the grade of the nearest street sidewalk or streetside multi-use path.
2. **Front Porches/Patios** - A front porch or front patio for each ground-floor dwelling unit, with a minimum size of 6 ft. deep by 10 ft. wide (60 sq. ft.), and with a minimum of 60 percent of the porch or patio covered to provide weather protection.
3. **Sidewalk/Walkway to Front Door** - A minimum 3-ft.-wide walkway constructed of a permanent hard surface (not gravel) and located directly between the street sidewalk and the front door. This walkway shall not be part of the driveway area.

- b. Design Variety Menu** - Each structure shall incorporate a minimum of four of the following nine building design features. The applicant shall indicate proposed options on plans submitted for building permits. While not all of the design features are required, the inclusion of as many as possible is strongly encouraged.

1. **Roof Types** - Roofs that have gable, hip, or gambrel forms (minimum pitch 4 to 12) with at least a 6-in. overhang. Mixed use buildings may provide flat roofs with a decorative cap, such as a parapet or cornice, that is a distinctive element from the main wall of the building.
2. **Trim** - A minimum of 2.25-in. trim or recess around windows and doors that face the street. Although not required, wider trim is strongly encouraged.
3. **Building and Roof Articulation** - Exterior building elevations that incorporate design features such as offsets, balconies, projections, window reveals, or similar elements to preclude large expanses of uninterrupted building surfaces. Along the vertical face of a structure, such features shall be designed to occur on each floor and at a

minimum of every 45 ft. To satisfy this requirement, at least two of the following three choices shall be incorporated into the development:

- (a) Offsets or breaks in roof elevation of 3 ft. or more in height, cornices at least 2 ft. or more in height, or at least 2-ft. eaves;
 - (b) Recesses (e.g., decks, patios, courtyards, entrances, etc.) with a minimum depth of 2 ft. and minimum length of 4 ft.; and/or
 - (c) Extensions/projections (e.g., floor area, porches, bay windows, decks, entrances, etc.) that have a minimum depth of 2 ft. and minimum length of 4 ft.
4. **Building Materials** - Buildings shall have a minimum of two different types of building materials (including, but not limited to stucco and wood, brick and stone, etc.) or a minimum of two different patterns of the same building material (e.g., scalloped wood and lap siding, etc.) on facades facing streets. These requirements are exclusive of foundations and roofs, and pertain only to the walls of a structure.
5. **Increased Eaves Width** - Eaves with a minimum 18-in. overhang.
6. **Increased Windows** - A minimum area of 20 percent windows and/or dwelling doors on facades (including garage facades) facing streets, sidewalks, and multi-use paths. Gabled areas need not be included in the base wall calculation when determining this minimum 20 percent calculation.
7. **Increased Roof Pitch** - A minimum 6 to 12 roof pitch with at least a 6-in. overhang. Provision of this increased roof pitch does not allow an applicant to count both this option and "1" above as options that have been met. An applicant shall receive "credit" only for "1" or this option.
8. **Architectural Features** - At least one architectural feature included on dwelling facades that face the street. Architectural features are defined as bay windows, oriels, covered porches greater than 60 sq. ft. in size, balconies above the first floor, dormers related to living space, or habitable cupolas. If a dwelling is oriented such that its front facade (facade with the front door) is oriented to a sidewalk and no facades of the dwelling face a street, then the architectural feature may be counted if it is located on the front facade.

9. **Architectural Details** - Architectural details used consistently on dwelling facades that face streets. Architectural details are defined as exposed rafter or beam ends, eave brackets, windows with grids or true divided lights, or pergolas integrated into building facades. If a dwelling is oriented such that its front facade (facade with the front door) is oriented to a sidewalk and no facades of the dwelling face a street, then the architectural feature may be counted if it is located on the front facade.

4.10.60.05 - Service Areas, Roof-Mounted Equipment, and Private Outdoor Space

- a. **Service Areas** - When provided, service areas (e.g., trash receptacles) shall be located to provide truck access and shall not be placed within any required setback area. When located outside a setback area, but within 5-10 ft. of a property line, such service areas shall be screened on all sides with a solid fence or wall at least 1 ft. higher than the equipment within the service area and also screened with landscaping (in accordance with landscape screening provisions of Chapter 4.2 - Landscaping, Buffering, Screening, Natural Resource Protection, and Lighting). When located outside a setback area, but greater than 10 ft. from a property line, such service area shall still be screened, but may be screened with landscaping only (in accordance with landscape screening provisions of Chapter 4.2).

Service areas for residential building types other than single-family, duplex, and triplex units shall be located a minimum of 20 ft. from both onsite and offsite residential buildings. Transformers shall also be screened with landscaping.

When service areas are provided within alleys, the alleys shall be constructed in accordance with the provisions in Chapter 4.0 - Improvements Required with Development.

- b. **Roof-Mounted Equipment** - Roof-mounted equipment (heating, ventilation, air conditioning equipment, etc.) shall have screening features (such as a parapet, wall, or other sight-blocking feature) at least equal in height to the equipment and constructed of materials used in the building's exterior construction. The roof-mounted equipment shall be painted to match the roof.
- c. **Private Outdoor Space** - Outdoor space shall be provided consistent with the outdoor space standards for the Mixed Use Residential Zone in Chapter 3.9 - Mixed Use Residential (MUR) Zone.

4.10.60.06 - Pedestrian Circulation

a. Applicability

These additional pedestrian circulation standards apply to all residential developments with eight or more units.

b. Standards

1. **Continuous Internal Sidewalks** - Continuous internal sidewalks shall be provided throughout the site. Discontinuous internal sidewalks shall be permitted only where stubbed to a future internal sidewalk on abutting properties, future phases on the property, or abutting recreation areas and pedestrian connections.

2. **Separation from Buildings** - Internal sidewalks shall be separated a minimum of 5 ft. from dwellings, measured from the sidewalk edge closest to any dwelling unit. This standard does not apply to the following:

- (a) Sidewalks along public or private streets used to meet building orientation standard, or
- (b) Mixed use buildings and multi-family densities exceeding 30 units per acre.

c. **Connectivity** - The internal sidewalk system shall connect all abutting streets to primary building entrances. The internal sidewalk system shall connect all buildings on the site and shall connect the dwelling units to parking areas, bicycle parking, storage areas, all recreational facility and common areas, and abutting public sidewalks and multi-use paths.

d. **Sidewalk and Multi-use Path Surface Treatment** - Public internal sidewalks shall be concrete and shall be at least 5 ft. wide. Private internal sidewalks shall be concrete, or masonry; and shall be at least 5 ft. wide. Public multi-use paths (i.e., paths for bicycles, pedestrians, and emergency vehicles) shall be concrete and shall be at least 12 ft. wide. Private multi-use paths shall be of the same materials as private sidewalks, or asphalt, and shall be at least 12 ft. wide. All materials used for sidewalks and multi-use paths shall meet City Engineering standards.

e. **Crossings** - Where internal sidewalks cross a vehicular circulation area or parking aisle, they shall be clearly marked with contrasting paving materials.

Additional use of other measures to clearly mark a crossing, such as an elevation change, speed humps, or striping is encouraged.

- f. **Safety Adjacent to Vehicular Areas** - Where internal sidewalks parallel and abut a vehicular circulation area, sidewalks shall be raised a minimum of 6 in., or shall be separated from the vehicular circulation area by a minimum 6-in. raised curb. Landscaping that meets the requirements for separated sidewalks adjacent to streets shall be provided.
- g. **Lighting** - Lighting shall be provided consistent with the lighting provisions in Chapter 4.2 - Landscaping, Buffering, Screening, Natural Resource Protection, and Lighting.

Section 4.10.70 - STANDARDS FOR COMMERCIAL, INDUSTRIAL, AND CIVIC DEVELOPMENT

4.10.70.01 - Applicability

- a. All new commercial, industrial, and civic building types and associated features (such as parking lots) within all zones that refer to section 4.10.70 shall comply with sections 4.10.70.02 through 4.10.70.05.
- b. Independent or cumulative expansions of a commercial, industrial, or civic structure in existence and in compliance with the Code on December 31, 2000, or constructed after December 31, 2000 pursuant to a valid Conceptual or Detailed Development Plan approved on or before December 31, 2000, shall not be required to comply with this section provided that:
 - 1. The expansion adds floor area of 500 sq. ft. or less; or
 - 2. The expansion adds floor area of 3,000 sq. ft. or less and is equivalent to 20 percent or less of the existing structure's gross floor area.
- c. Independent or cumulative expansions of a commercial, industrial, or civic structure in existence and in compliance with the Code on December 31, 2000, or constructed after December 31, 2000 pursuant to a valid Conceptual or Detailed Development Plan approved on or before December 31, 2000, shall comply with the requirements of sections 4.10.70.02 through 4.10.70.05, subject to the following provisions that allow choices among some standards, provided that:
 - 1. The expansion adds floor area of more than 3,000 sq. ft.; or

2. The expansion adds floor area of more than 500 sq. ft. and is equivalent to more than 20 percent of the existing structure's gross floor area.
- d. Pedestrian oriented design requirements for commercial, industrial, or civic structure expansions identified in section 4.10.70.01.c, above, are as follows:
1. Applicants shall choose at least four standards from sections 4.10.70.02 - Building Orientation and 4.10.70.03 - Pedestrian Circulation Standards, with a minimum of one standard from each (this criterion does not apply if the expansion/enlargement is an upper story addition only). If the expansion/enlargement is for space not open to customers or to the public, applicants must choose only one standard from section 4.10.70.02 and two standards from section 4.10.70.03.
 2. New parking shall comply with the Vehicle Circulation and Design Standards in sections 4.10.70.04.b through 4.10.70.04.d. For new drive-throughs, 4.10.70.04.e shall apply. Site improvements and expansions shall comply with the grading requirements of section 4.10.70.02.f.
 3. Applicants shall choose the option in section 4.10.70.05.b.6.a or the option in section 4.10.70.05.b.6.b and, if in the Neighborhood Center Zone, applicants shall also comply with section 4.10.70.05.b.6.c.
 4. Applicants shall choose at least two of the five standards from section 4.10.70.05.b.7.a through 4.10.70.05.b.7.e. If the expansion/enlargement is for space not open to customers or to the public, applicants must choose only one standard from section 4.10.70.05.b.7.a through 4.10.70.05.b.7.e.
- e. The required standards applicable to expansions shall be applied either to the portion of the building being expanded, or in equal proportion to portions of the original building not in compliance with respect to the standard. For example, where windows may be required, but the security of a proposed storage room is needed, the applicant may install windows on other portions of the building not in compliance with the window provisions to satisfy the requirements.
- f. Expansions proposed for sites containing existing parking lots not in compliance with the parking lot design standards in this chapter and in Chapter 4.1 - Parking, Loading, and Access Requirements, and containing

parking spaces in excess of the minimum required for the existing development on the site shall first use the excess parking spaces to satisfy the parking requirements of the expansion, and shall modify those portions of the parking lot(s) associated with the proposed expansion in accordance with the design standards in this chapter and in Chapter 4.1. The modifications shall comply with the parking lot design standards to the maximum extent that they can be accommodated by the existing site development.

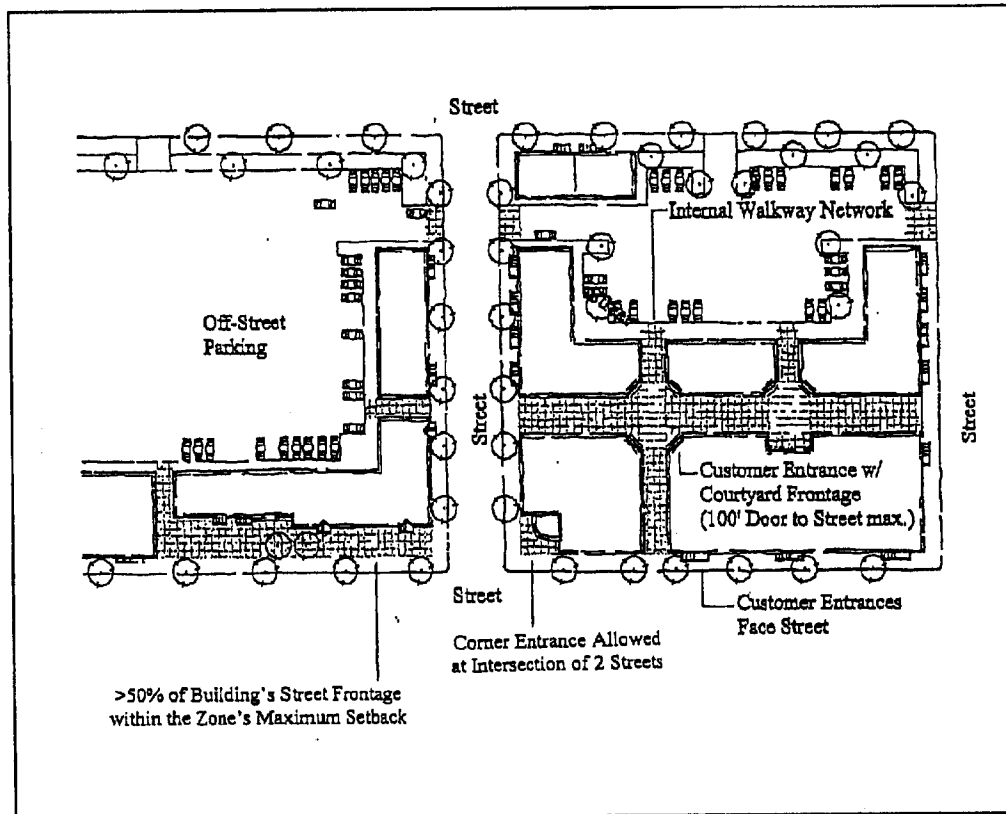
4.10.70.02 - Building Orientation

All buildings shall be oriented to existing or proposed public or private streets (see Chapter 4.0 - Improvements Required with Development for public and private street standards). Buildings on corner parcels shall be oriented to both streets bordering the property. Private streets used to meet this standard must include the elements in Chapter 4.0.

The building orientation standard is met when all of the following criteria are met:

- a. Street Frontage Setback** - At least 50 percent of the building's linear frontage is located within the maximum setback established for the zone for structures that have street frontage (except as provided elsewhere in this chapter for development in the Neighborhood Center Zone). Expansion of a structure existing prior to December 31, 2000, and in conformance with the Code on that date is deemed to meet this criterion, provided the area of expansion is between the street and the existing building frontage.
- b. Entrances** - All building sides that face an adjacent (public or private) street include at least one customer entrance. When the site is adjacent to more than one street, corner entrances at an angle of up to 45 degrees (from the largest of the two adjacent streets) may be substituted for separate entrances on adjacent streets. If the building does not have frontage along an adjacent street, direct pedestrian access to the street may be achieved by a sidewalk or courtyard connecting to a street no farther than 100 ft. from the building's pedestrian entrance. Buildings of less than 3,000 sq. ft. fronting on only one street may provide the customer entrance on the side of the building in lieu of the front, if a sidewalk or courtyard provides a direct pedestrian connection of less than 50 ft. between the entrance and the street.
- c. Parking and Vehicle Circulation** - Off-street parking or vehicular circulation shall not be placed between buildings and streets used to comply with this standard. Where allowed by the underlying zone, outdoor vehicle display lots

for sale of autos, noncommercial trucks, motorcycles, trailers with less than 10,000 lbs. gross cargo weight, motor homes, and boats may be located adjacent to streets. The parking lot perimeter landscaping requirements of section 4.2.40 of Chapter 4.2 shall be met.



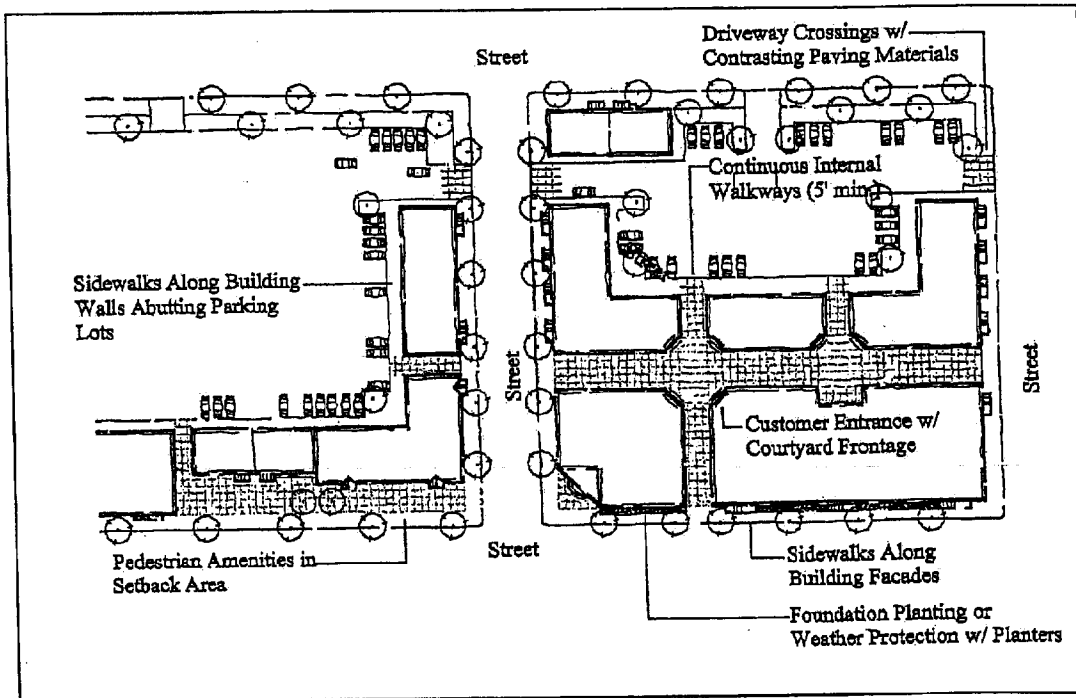
d. Neighborhood Center (NC) Zone Special Provisions - Buildings in the Neighborhood Center Zone shall comply with the following additional standards:

1. Buildings shall be oriented to designated shopping streets, public open space, or a public park; and
2. On designated shopping streets in the NC Zone, 80 percent of the building front shall be within the maximum setback. The maximum setback may be waived if pedestrian amenities occupy the extended setback area. Pedestrian amenities are defined in section 4.10.70.05.

- e. **Exception for Enhanced Pedestrian Environment** - Within a Minor Neighborhood Center, an exception to the requirement that all buildings on corner parcels front both streets may be granted through the process identified in Chapter 2.16 - Request for Interpretation if the proposed shopping street's design and layout can be shown to provide a pedestrian environment that is clearly superior (through enclosure of the shopping street, etc.) to the environment that would result from the corner orientation. For Major Neighborhood Centers, such exceptions may be granted, based on the same standard, through the process identified in Chapter 2.10 - Major Neighborhood Center Master Site Plan Requirements.
- f. **Grading (Cuts and Fills)** - Structures and onsite improvements shall be designed to fit the natural contours of the site by minimizing cuts and fills. Cuts and fills shall be considered to be minimized by not exceeding 8 vertical ft. for an individual cut or fill and not exceeding 16 vertical ft. for a combination cut/fill. The maximum cut or fill used to establish any driveway shall not exceed 8 vertical ft., except that overall vertical heights of these cuts or fills may exceed 8 ft. where slopes on a site exceed 20 percent. In these cases, an overall maximum vertical height of 14 ft. may be achieved by use of more than one cut or fill, provided that a minimum 5-ft. planted bench is constructed between the two cuts or fills (excepting that improvements such as sidewalks, stairs, patios, etc. that cross the bench are not planted).

4.10.70.03 - Pedestrian Circulation Standards

- a. **Requirements for New Development and Options for Expansions of a Commercial, Industrial, or Civic Structure, Consistent with Section 4.10.70.01.c**
 - 1. **Continuous Internal Sidewalks and Multi-use Paths** - A continuous internal sidewalk (and needed sidewalk crossings), no less than 5 ft. wide, shall be provided from public sidewalks or rights-of-way to all customer entrances, and between customer entrances of all buildings. Sidewalks shall be direct and convenient and form a network of walking routes. Internal multi-use paths shall be no less than 12 ft. wide.



2. **Sidewalks along Building Walls** - Sidewalks no less than 5 ft. wide shall be provided along the full length of building walls featuring a customer entrance and along any wall parallel to and abutting parking areas larger than eight parking spaces, except in situations where the sidewalk would not provide connectivity between an entrance and parking area. Where sidewalks are adjacent to buildings (except for along shopping streets), a 5-ft.-wide foundation landscape strip and/or weather protection with planters shall be provided.
3. **Separation and Distinction from Driving Surfaces** - Where any internal sidewalk is parallel to and abuts a vehicular circulation or parking area, the sidewalk shall be raised and separated from the vehicular circulation or parking area by a raised curb at least 6 in. in height. In addition to this requirement, a landscaping strip at least 5 ft. wide, or wheel stops with landscaping strips at least 4 ft. wide, are strongly encouraged to enhance the separation of vehicular from pedestrian facilities.
4. **Sidewalk and Multi-use Path Surface Treatment** - Public internal sidewalks shall be concrete and shall be at least 5 ft. wide. Private

internal sidewalks shall be concrete or masonry pavers, and shall be at least 5 ft. wide. Public multi-use paths (i.e., paths for bicycles, pedestrians, and emergency vehicles) shall be concrete, and shall be at least 12 ft. wide. Private multi-use paths shall be of the same materials as private sidewalks, or asphalt, and shall be at least 12 ft. wide. All materials used for public sidewalks and multi-use paths shall meet City Engineering standards.

5. **Crossings** - Where any internal sidewalk crosses an internal street, driveway, or parking aisle, the sidewalk shall be clearly marked with contrasting paving materials. Additional use of other measures to clearly mark a crossing, such as an elevation change, speed humps, or striping, is encouraged.
6. **Connection to Adjacent Properties or Streets** - In addition to the sidewalk connections required by the block development standards in Chapter 4.0 - Improvements Required with Development, sidewalk connections shall be provided between internal sidewalk networks and all adjacent planned streets, sidewalks, and multi-use paths. Multi-use paths shall be connected with adjacent multi-use paths, sidewalks, and/or bike lanes. Where appropriate, such connections shall also be provided to adjacent residential properties.
7. **Planting Strips** - For lots abutting existing streetside sidewalks, sidewalks shall be reconstructed with a planting strip consistent with the requirements in Chapter 4.0.

b. Additional Requirement for New Development and Additional List of Options for Expansions of a Commercial, Industrial, or Civic Structure, Consistent with Section 4.10.70.01.d.1

New development shall comply with one of the following five options. Expansions in accordance with section 4.10.70.01.c shall merely add this list of choices to the choices presented in section 4.10.70.03.a to obtain a larger list of options to comply with the requirements of section 4.10.70.01.d.1.

Options:

1. **Driveway Consolidation** - Removal of at least one driveway through outright removal or access consolidation, such that the net number of driveways for the site is at least one less than prior existing conditions for the site.

2. **Landscape Buffer** - Construction or expansion of a landscape buffer that creates a landscape buffer 20 ft. wide, where either no landscape buffer exists or where a landscape buffer of less than 20 ft. wide exists, between the back of a sidewalk and existing vehicle parking or circulation areas.
3. **Reduced Parking** - Establishment of an agreement that shares parking between the subject site and an abutting site and results in a reduction of total parking spaces for the subject site to 90 percent or less of the required minimum. Such shared parking agreements may be used, provided the applicant demonstrates an adequate supply of parking for each use. Identification of surplus parking during peak periods, or surplus capacity provided due to off-peak use, are methods of demonstrating this adequacy.
4. **Covered Walkways** - Installation of weather protection resulting in covered pedestrian walkways between and around all buildings and between the primary building and adjacent public pedestrian facilities.
5. **Notarized Letter** - Where development is proposed on property adjacent to existing 5-lane arterial streets or highways, recording a signed and notarized letter with the Benton County Clerk from the owner of the development site agreeing not to oppose construction of a future median or pedestrian refuge.

4.10.70.04 - Vehicle Circulation and Design Standards

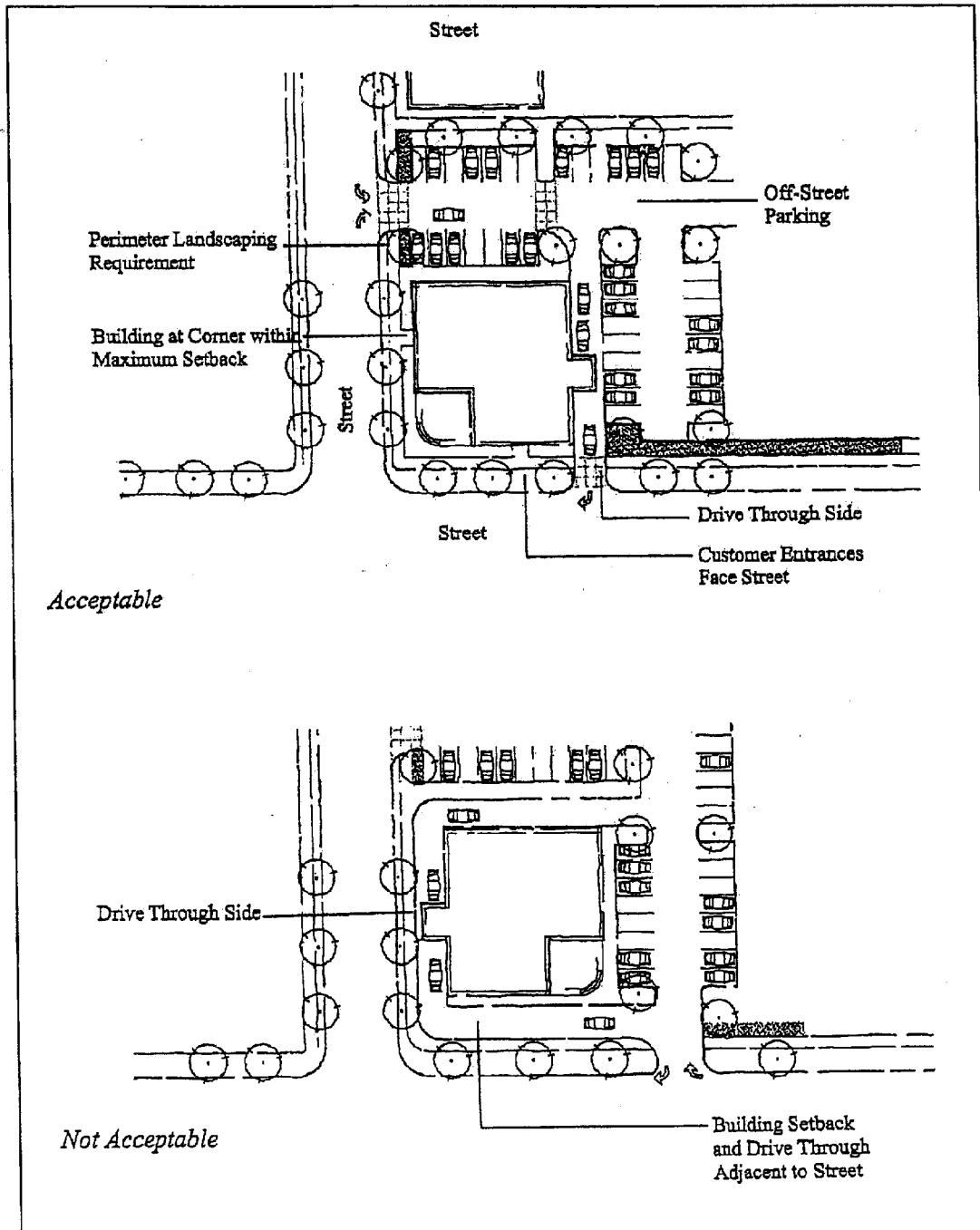
- a. **Parking Lots** - Parking lots shall be placed to the rear of buildings in accordance with section 4.10.70.02. Administrative exceptions to this standard are allowed. To the extent that required parking cannot be located to the rear of the building due to other requirements of this Code or unusual site constraints, the amount of parking and vehicle circulation that cannot be accommodated to the rear of the building may be provided only to the side of the building.

"Other requirements of this Code" may include, but are not necessarily limited to, significant natural resource protection provisions in Chapter 4.2 - Landscaping, Buffering, Screening, Natural Resource Protection, and Lighting; vehicle parking, loading, and circulation requirements in Chapter 4.1 - Parking, Loading, and Access Requirements; and floodway/floodplain maintenance requirements in Chapter 4.5 - Flood Control and Drainageway Provisions. Unusual site constraints may include parcels fronting more than two streets, irregular lot configuration, weak foundation soils, or other

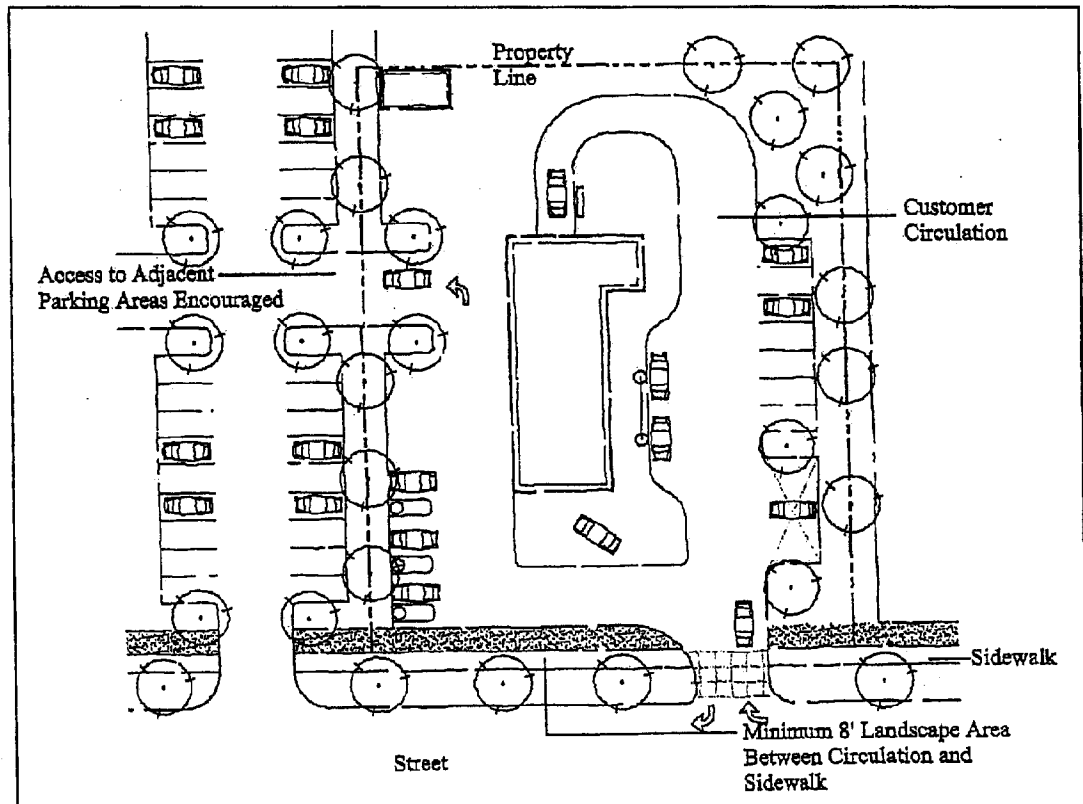
physical site factors that constrain development when considered with Uniform Building Code requirements.

- b. **Corner Parcels** - Parking areas shall not be located within 30 ft. of a roadway intersection, as measured from the center of the curb radius to the edge of the parking area (curb or wheel stop).
- c. **Parking Lot Access** - Commercial driveway approaches shall be used to access parking lots from public streets. Parking lot approaches shall be located no closer than 50 ft. from local street intersections (as measured from the intersection of two rights-of-way lines). Approaches on collector and arterial streets shall comply with parking lot approach standards provided in Chapter 4.1.
- d. **Neighborhood Center (NC) Zone Special Provisions** - Parking in the Neighborhood Center Zone shall comply with the following additional standards:
 - 1. Off-street parking shall be located behind new buildings and building expansions for buildings constructed after adoption of this Code;
 - 2. Exceptions to this standard for new buildings may be requested only in association with a Planned Development application in accordance with Chapter 2.5 - Planned Development;
 - 3. Exceptions to this standard for expansion of a building in existence prior to December 31, 2000, may allow parking on the side of a building to the extent that required parking cannot be located to the rear due to other requirements of this Code or unusual site constraints (identified in section 4.10.70.04.a above), and provided that the parking at the side of the building does not exceed 20 percent of the total minimum parking for the building.
 - 4. On-street parking along the property's frontage may count toward minimum parking requirements in the NC Zone.
- e. **Drive-Through Facilities**
 - 1. Internal driveways are prohibited between buildings and streets to which the building entrances are oriented, except for car washes and fuel sales pursuant to "3" below.

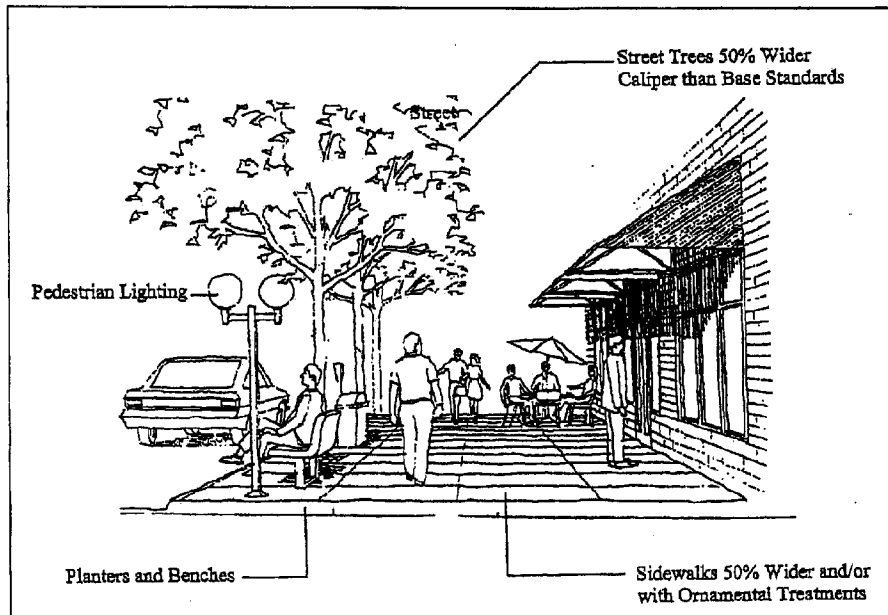
2. Drive-Through Facilities uses are prohibited in the Minor NC Zone. In other commercial zones, drive-through facilities are allowed provided "1" above is met. Pedestrian areas shall be buffered from drive-through vehicles in accordance with Chapter 4.2 - Landscaping, Buffering, Screening, Natural Resource Protection, and Lighting.



3. Car Washes and Fuel Sales uses may include internal driveways, drive aisles, accessways, and queuing lanes between the building (meeting setback requirements) and street to which the building entrances are oriented, subject to the following standards:
- (a) Pedestrian areas shall be buffered from drive-through vehicles in accordance with Chapter 4.2;
 - (b) A minimum 8-ft.-wide landscape buffer shall be provided between the vehicular circulation areas of the use and any sidewalk within the public street rights-of-way; and
 - (c) When building entrances are separated from sidewalks by drive-through facilities, contrasting paving materials shall be required to ensure safe, direct, and convenient crossings. In addition, raised elevation warning signs and/or landscaping walls are encouraged to enhance safe, direct, and convenient crossings and to further buffer pedestrian areas from drive-through facilities.



4.10.70.05 - Standards and Menus for Pedestrian Features and Design Variety



a. Pedestrian Amenities Standards

1. **Weather Protection** - Where new commercial and civic development is constructed immediately adjacent to (abutting) street sidewalks or pedestrian plazas, a minimum 6-ft.-wide, weather-protected area (e.g., awnings or canopies) shall be provided and maintained along at least 60 percent of any building wall immediately adjacent to the sidewalks and/or pedestrian plazas. An additional requirement shall include a minimum 8-ft. vertical clearance (9 ft. for balconies) between the sidewalk and the lowest portion of the weather protection.

2. **Pedestrian Amenity Requirements** - All new development and substantial improvements shall provide pedestrian amenities as defined by this section. The number of pedestrian amenities provided shall comply with the following sliding scale:

Size of Structure or Substantial Improvement	Number of Amenities
< 5,000 sq. ft.	1
5,001 - 10,000 sq. ft.	2
10,001 - 50,000 sq. ft.	3
> 50,000 sq. ft.	4

3. **Acceptable Pedestrian Amenities** - Acceptable pedestrian amenities include:

- (a) Sidewalks with ornamental treatments (e.g., brick pavers), or sidewalks 50 percent wider than required by this Code;
- (b) Sidewalk planters with benches and public outdoor seating;
- (c) Significant public art (e.g., sculpture, fountain, clock, mural, etc.);
- (d) Mini parks or plazas (minimum usable area of 300 sq. ft.); and
- (e) Street trees of a caliper 50 percent wider than required by this Code (may include preservation of healthy mature trees adjacent to the street sidewalk).

4. **Accessibility of Pedestrian Amenities** - Pedestrian amenities shall be visible and accessible to the general public from an improved street. Access to mini parks, plazas, and sidewalks shall be provided via a public right-of-way or a public access easement.

b. Design Standards and Design Variety Menus

1. **Encroachments** - Special architectural features, such as bay windows, decorative roofs, and entry features may, with City Council approval, project up to 3 ft. into public rights-of-way, provided that they are not less than 9 ft. above the sidewalk. Trellises, canopies and fabric awnings may project 6.5 ft. into setbacks and public rights-

of-way, provided that they are not less than 8 ft. above the sidewalk. No such improvements shall encroach into alley rights-of-way.

2. **Loading/Service Facilities** - Loading and service areas (e.g., trash enclosures) shall be located to minimize conflicts with public pedestrian areas, screened in accordance with Chapter 4.2 - Landscaping, Buffering, Screening, Natural Resource Protection, and Lighting, provide convenient access for trucks, and shall minimize noise and other impacts with adjoining uses. Service areas shall be located to the back or sides of buildings, or in alleys where available. Loading dock doors are encouraged to be placed in recessed areas or between buildings to minimize impacts to the pedestrian and human-scale aspects of the development.
3. **Roof-Mounted Equipment** - Roof-mounted equipment (e.g., heating, ventilation, and air conditioning equipment) shall be screened. Screening features (such as a parapet, wall, or other sight-blocking feature) shall be at least equal in height to the equipment, compatible with roof lines, and constructed of materials used in the building's exterior construction. The roof-mounted equipment shall be painted to match the roof.
4. **Sign Standards**
 - (a) Pole-mounted, freestanding signs are prohibited in NC zones.
 - (b) Blade signs placed under awnings are allowed along shopping streets.
 - (c) Remaining sign provisions are in accordance with Chapter 4.7 - Sign Regulations.
5. **Lighting Standards** - Lighting shall be provided consistent with the lighting provisions in Chapter 4.2 - Landscaping, Buffering, Screening, Natural Resource Protection, and Lighting.
6. **Windows** - The following shall apply to placement and type of windows:
 - (a) **Ground-Floor Windows and Doors** - Except for the Neighborhood Center Zone (refer to "c" below), a minimum of 60 percent of the length and 25 percent of the first 12 ft. in height from the adjacent grade of any street-facing facade

shall contain windows and/or glass doors. (An exception may be granted if the expansion/enlargement is for space neither adjacent to a street nor open to customers or the public.) Additional requirements for windows shall include the following:

- (1) Ground-floor windows shall be framed by bulkheads, piers, and sills (e.g., recessed window) where applicable, and shall have a top treatment such as a hood, awning, or a storefront cornice separating the ground floor from the second story. (The "Base Treatment" standards under section 4.10.70.05.b.7.d below and the "Top Treatment" standards under section 4.10.70.05.b.7.e below shall be used as a guide for providing "bulkheads" and "cornices" that meet this standard.) Alternatively, all ground-floor windows shall provide a minimum 3-in. trim or recession.
- (2) Window Type - Ground-floor windows used to comply with section 4.10.70.05.b.6.a shall meet all of the following standards:
 - (a) Opacity of greater than 60 percent prohibited for any required window; and
 - (b) Ground-floor windows shall allow views from adjacent sidewalks into working areas or lobbies, pedestrian entrances, or display windows set into the wall. Display cases attached to the outside wall do not qualify. The bottom of windows shall be no more than 4 ft. above the adjacent exterior grade.
- (b) **Windows on Commercial Stories above Ground Floor** - Each facade on commercial stories above the ground floor and that faces a street or other area accessible to the public shall include at least 20 percent window coverage.
- (c) **Neighborhood Center Special Window Provisions** - For walls facing shopping streets, a minimum of 75 percent of length and 50 percent of the first 12 ft. in height from the adjacent grade of any street-facing wall shall contain windows and/or glass doors. Public art, mini parks, and/or plazas, as defined in section 4.10.70.05.a.3 may substitute for up to 50

percent of the required window area if construction is of permanently fixed, durable materials.

7. **Design Variety Menu** - Each structure shall incorporate a minimum of three of the following five building design features. The applicant shall indicate proposed options on plans submitted for building permits. While not all of the design features are required, the inclusion of as many as possible is strongly encouraged.
 - (a) **Building Walls** - Building walls in excess of 30 ft. in length shall not exceed a height/width ratio of 1:3 without a change in height of at least 4 ft.
 - (b) **Maximum Wall Segments** - All building wall segments on all sides of buildings visible from public areas or adjacent uses shall be a maximum of 30 ft. in length. Building wall segments shall be distinguished by architectural features including at least one of the following: columns, reveals, ribs or pilasters, and piers, recesses, or extensions. The segment length may be increased to a maximum of 60 ft. if the segment contains integral planters, public art, or permanent seating (e.g., seating wall) that conform to the accessibility standards in section 4.10.70.05.a.4.
 - (c) **Entrances** - Primary building entrances shall be clearly defined by recess or projection, and shall be framed by a sheltering element such as an awning, overhang, arcade, or portico.
 - (d) **Base Treatments** - A recognizable "base" consisting of at least one of the following:
 - (1) Thicker walls (e.g., bulkhead), ledges, or sills as viewed from the exterior of the building;
 - (2) Integrally textured materials such as stone, stucco, or other masonry;
 - (3) Integrally colored and patterned materials such as smooth-finished stone or tile;
 - (4) Lighter or darker colored materials, mullions, or panels;

- (5) Detailing such as scoring, ribbing, moldings, or ornamentation; or
 - (6) Planters integral to the building.
- (e) **Top Treatments** - A recognizable "top" consisting of at least one of the following:
- (1) Cornice treatments, other than colored "stripes" or "bands" that are integral to the building design. Materials such as stone, masonry, brick, wood, galvanized and painted metal, or other colored materials shall be used;
 - (2) Sloping roof (4:12 or greater) with overhangs. Overhangs may be boxed with moldings (e.g., modillions, dentils, or other moldings, as applicable), or contain brackets; or
 - (3) Stepped parapets.

